

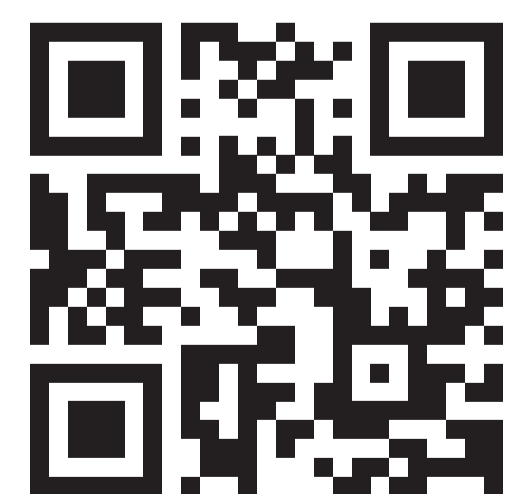
Welcome

Welcome to our public exhibition, sharing Staycity's emerging proposals for Harmsworth House in the City of London.

This exhibition will guide you through our plans to transform the building from its current use as an underperforming office into a vibrant new aparthotel in the heart of The City.

Please take your time to read the boards and speak with the project team, who will be happy to answer any questions that you have.

We encourage you to complete a short survey to let us know what you think of our emerging proposals.



Scan this code
for the website

✉ harmsworthhouse@fieldconsulting.co.uk

☎ 0207 096 7733

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staycity*



Indicative CGI of Harmsworth House

Who are we?

staycity*

Staycity is an award winning hotel operator with hotels across the UK and Europe.

Staycity's mission is to bring travellers a unique city stay by providing the comfort and flexibility of being at home with hotel quality standards.

Wilde Aparthotels by Staycity is part of the Staycity Group. It is our intention that Harmsworth House will be developed into a Wilde Aparthotel.

Wilde
Aparthotels

Wilde by Staycity: Discover the world the Wilde way

Inspired by the wit and wisdom of Oscar Wilde, Wilde aparthotels by Staycity are carefully curated in the most considered and creative way that's stylish, sophisticated, playful, practical, unique in personality and alive with spirit.

Our aparthotels are known for being centrally located in premium locations across Europe's most vibrant cities. Our existing locations include Wilde London Liverpool Street, Wilde Edinburgh Grassmarket and Wilde Berlin Checkpoint Charlie.

We are excited by the opportunity to bring the Wilde way of thinking to the City of London at Harmsworth House.



Wilde Aparthotels across Europe



To learn more, scan here and visit our website:
www.staycity.com

Our Site

Located in Temple towards the Western boundary of the City of London, Harmsworth House sits within a hub of predominantly commercial office, hotel and cultural uses.

Temple has seen significant transformation in recent years, providing an established heritage interspersed with new and old buildings.

Our proposals will reimagine the current building, focusing on refurbishment and retrofit to transform Harmsworth House into a vibrant new hotel in the heart of Temple.

Our Approach

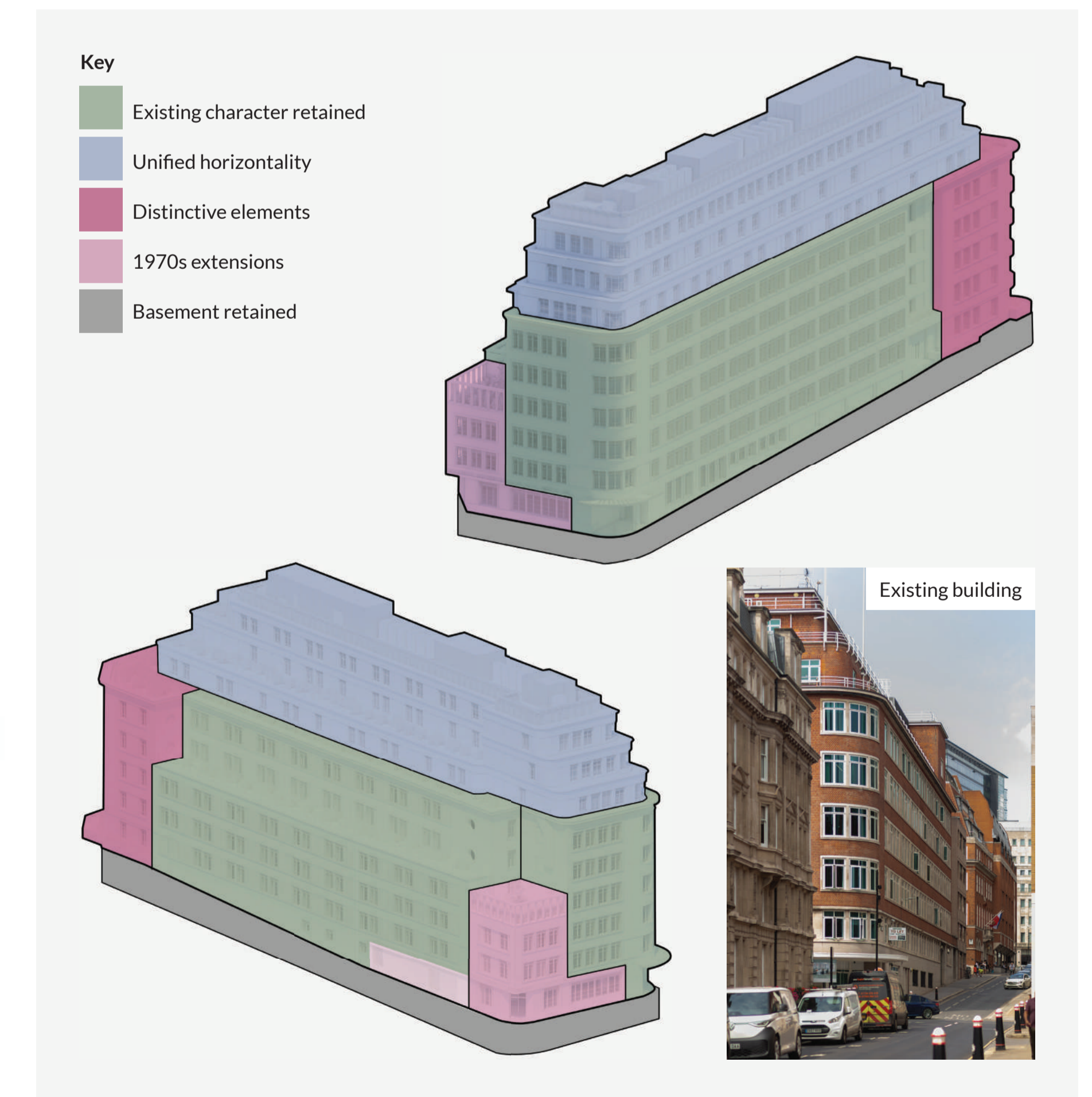
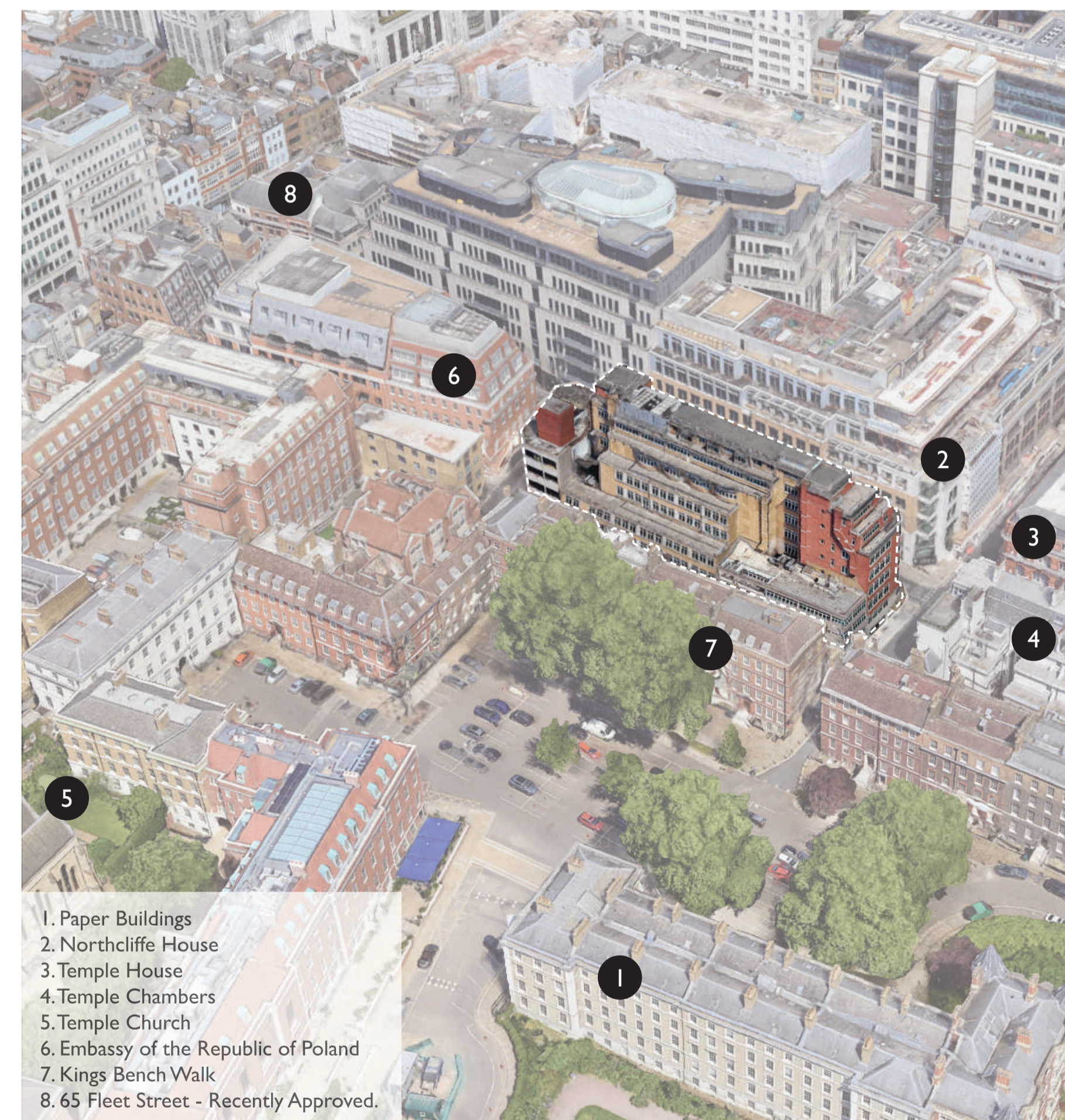
We are transforming a poorly performing office building into a vibrant and sustainable City hotel.

Built in the 1930s, Harmsworth House was once a prominent publishing house.

However, over the years, it has seen a series of ad hoc extensions which now detract from its former character.

By reinstating its original facade and enhancing the quality of the existing structure, we will transform the disjointed elements of the building into a cohesive hotel that aligns with the ambitions of the City.

Central to these ambitions and our approach at Harmsworth House is a robust sustainability strategy. Retrofitting the existing building is therefore at the heart of our proposals, with an aim to retain 61% of the original building's superstructure, celebrating the historical appearance of the old building, while embracing the new and sustainable.



Our Site

Our Site's surrounding buildings

Proposed building outline

Our Proposals

We are bringing forward a new and exciting vision for Harmsworth House, transforming an outdated and dysfunctional office building into a high quality, sustainable aparthotel reflecting the character and dynamism of The City of London.

Our proposals aim to preserve and celebrate the historical appearance of the existing building, while sustainably repurposing it through a carefully considered design approach that sits comfortably within the City environment.

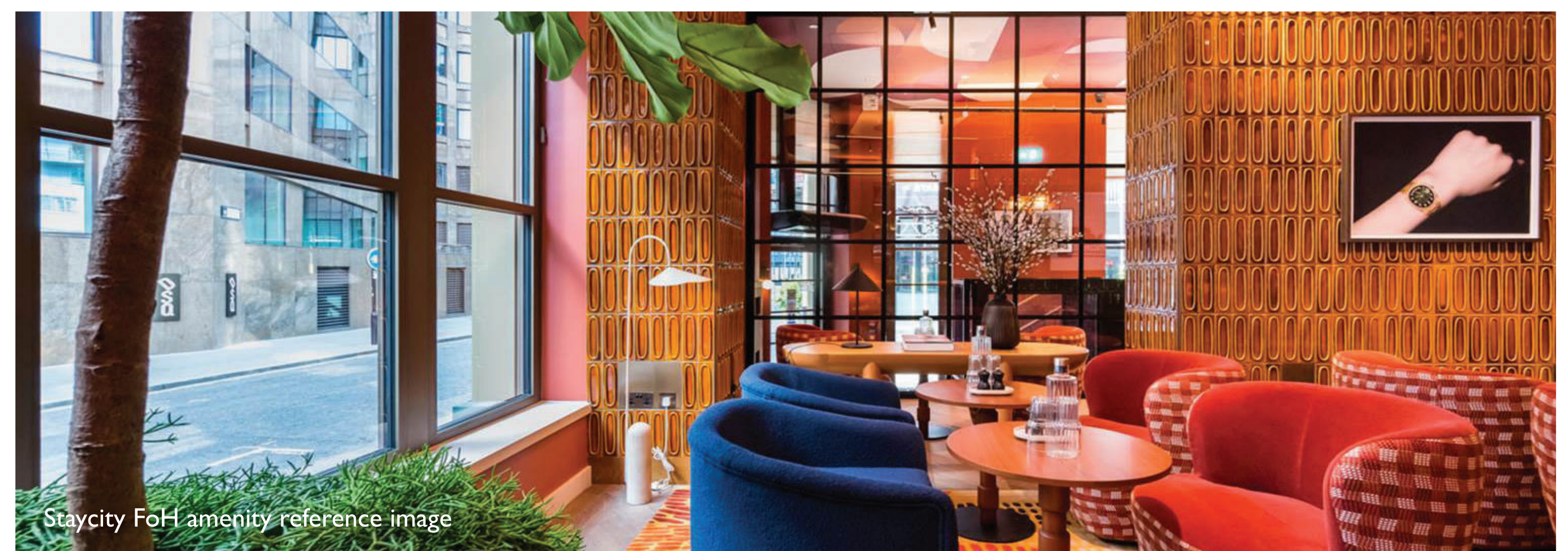
Our proposals will deliver:

- 221 high quality aparthotel rooms
- 24-hour reception
- The retention of the existing wine bar
- A gym, shower and changing facilities for hotel guests
- Provision of a flexible ground floor café and club lounge space
- Enhanced biodiversity with access to nature through onsite landscaping and proximity to green spaces, including Temple Garden
- A disabled parking space, cycle spaces on site, and the prioritisation of pedestrian and cycle travel
- A high quality public realm and improvements to Tudor Street

Bringing this aparthotel to life will enhance and diversify the building, creating new uses of the building that can accommodate local and evolving needs.



Indicative CGI of Harmsworth House



Staycity FoH amenity reference image

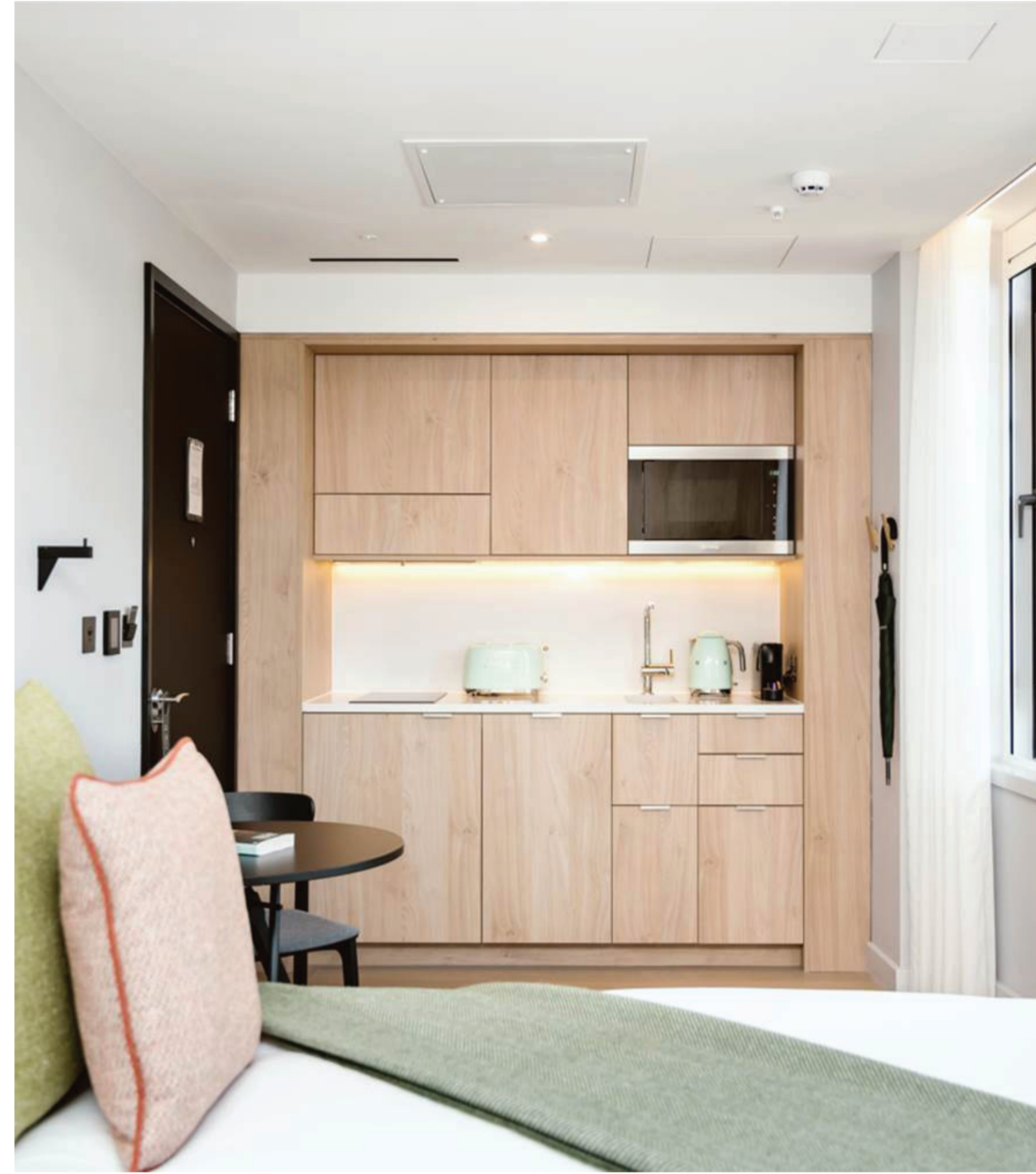
The Aparthotel

Apartment freedom,
hotel comforts

With 221 rooms in total, Harmsworth House will accommodate for a range of short and extended stays, perfect for those coming from near and far.

The hotel will include a blend of studios, large studios, 1 bed apartments and wheelchair accessible studios.

All designed to be a perfect blend between home and hotel, these rooms will have a contemporary aesthetic, earthy flourishes, superior finishes, high end brands and the latest technology.



Indicative images of the hotel interiors

Indicative room layouts



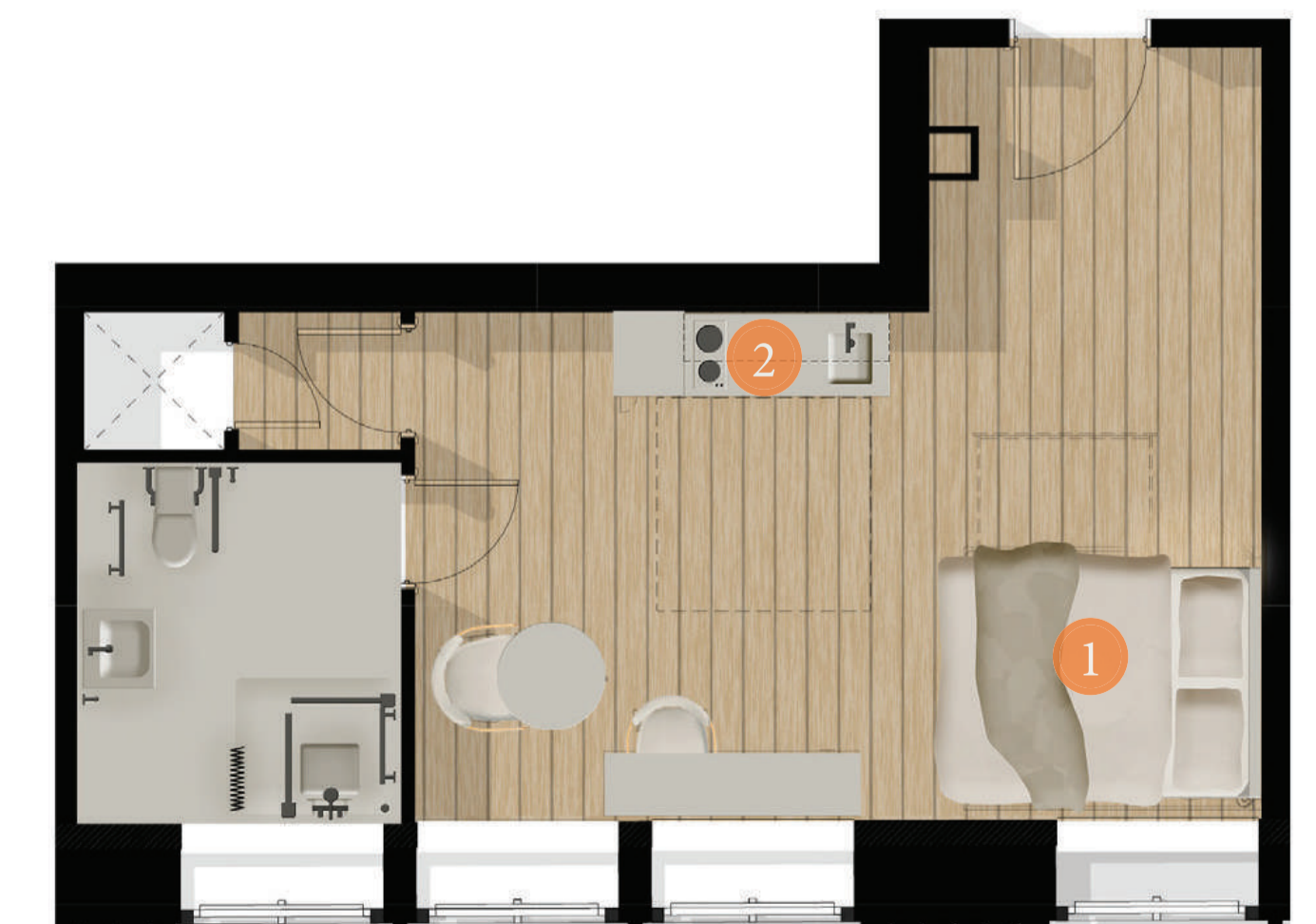
Studio
20-25m²



Large Studio
25-30m²



Suite
32-35m²



Wheelchair Accessible Room
30m²

Key

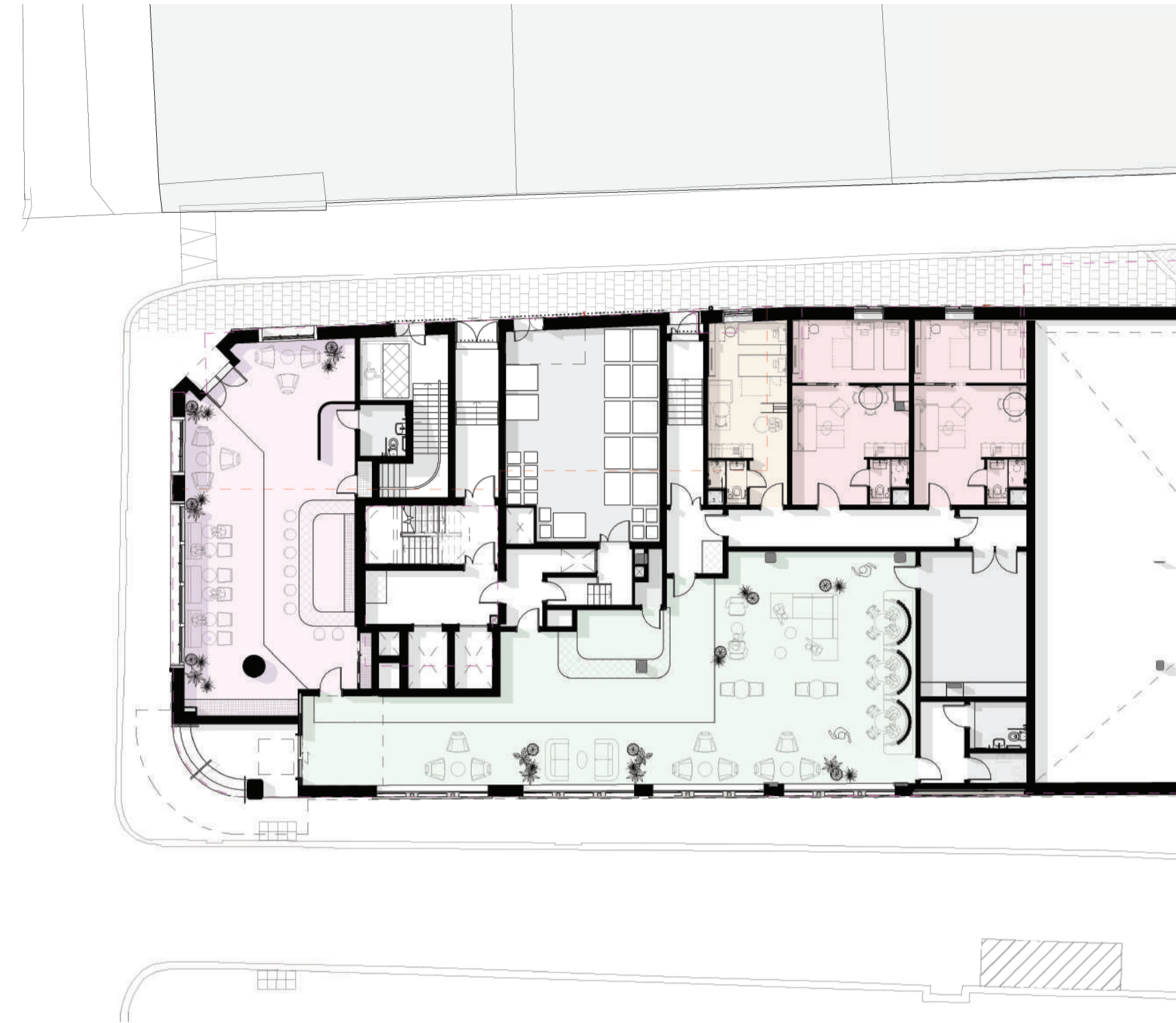
- 1 Bed
- 2 Kitchenette
- 3 Sofa
- 4 Sofa bed
- 5 Desk & Chair

Ground Floor & Public Realm

We know how important the places and spaces around and between buildings are to those that work, live or visit the City of London.

That is why we have focused our proposals on how we can enhance and improve ground floor and public realm around Harmsworth House.

- We know how valued the existing wine bar is – that is why we are retaining and improving its use. We will create a space managed by and linked to the new aparthotel. This new space will serve as a neighbourhood hub for locals to gather.
- This new space will be relocated to create a more active frontage along Bouverie Street, resulting in a more inclusive and accessible space.
- Further improvements to Temple Lane will also enhance pedestrian access and create a more attractive entrance.



Proposed ground floor plan



Indicative image of the wine bar



Wine bar at ground floor - existing (photograph)



Wine bar at ground floor - proposed (illustrative view)

Building Sustainably

Reflecting the aspirations and policies of the City of London Corporation, sustainability is the driving force behind our proposals for Harmsworth House. Not only is our retrofitting and reuse strategy central to our plans, we have also developed our own science-based target initiative, Staygreen, to decarbonise our buildings.

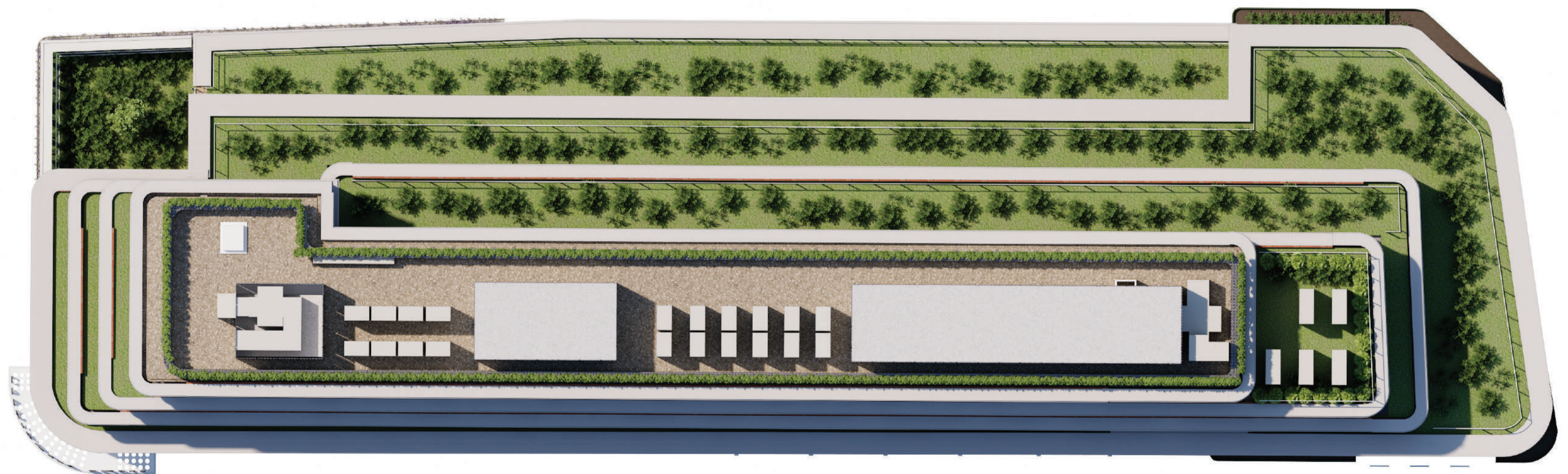
This means incorporating sustainable design principles to minimise the environmental impact, reduce carbon, enhance energy efficiency and promote reuse through maximising redevelopment of the existing building.

Our proposals will:

- Reduce the project's embodied carbon footprint by 600kgCO₂e/m²
- Retain c.61% of the current building fabric
- Ensure 20% of all new materials contain recycled content
- Incorporate on site recycling and waste systems
- Aim to divert 95-98% of material from landfill to recycling streams
- Maximise on site renewables, including heat pumps and PV Panels
- Implement pollution prevention measures
- Deliver air quality improvements through ventilation and 100% fresh outdoor air in circulation
- Incorporate an extensive wildflower roof, green landscaping and rain garden planters
- Deliver an increase in onsite biodiversity and greening



South west view of proposed Harmsworth House with onsite greening



Indicative roof plan

Our Design

The City of London is known for its rich and diverse architectural styles, ranging from Victorian neoclassical designs to 20th-century Art Deco and modernist influences. This vibrant mix of design elements has inspired us.

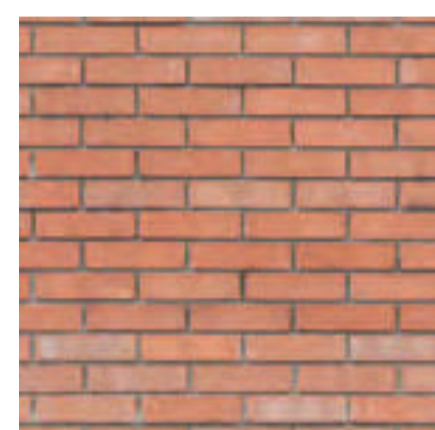
Our proposals draw inspiration from and celebrate the current style, historical appearance and materiality of the existing 1930s building by:

- Retaining a significant proportion of the existing façade
- Repurposing the existing structure and materials wherever possible
- Rationalising the massing to improve the buildings current appearance
- Introducing a more contemporary roof extension and infill extensions

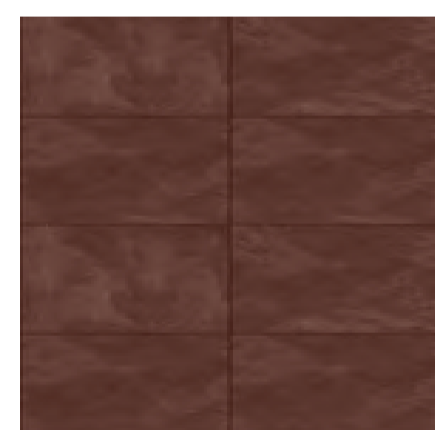
This approach will enable us to create a new, active, and dynamic space that resonates with the area's historical and architectural character. It also aligns with our commitment to reducing carbon emissions.



Indicative Harmsworth House elevations



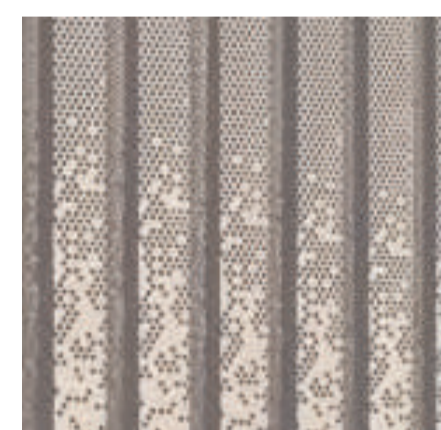
Red brick



Faience panel (oxblood)



Faience panel (white)



Architectural metalwork



Design influences

Key Benefits

We are excited by our proposals for Harmsworth House and believe they will help to create a vibrant hub for locals and visitors alike in the heart of the City of London.

- The replacement of outdated office space and the creation of a new aparthotel with 221 high quality rooms
- Lively wine bar, open to the public
- Provision of a flexible café and club lounge space
- A design that retains the Art Deco style of the architecture, with additional quirky and modern elements in keeping with the original 1930s design
- Significant carbon savings and sustainability improvements, with 61% of the building superstructure retained
- Highly accessible location with an excellent level of public transport, to deliver a car free development
- A scheme that prioritises pedestrian and cycle travel, with the creation of a disabled parking space
- An enhancement of local biodiversity through the greening of a brownfield site and securing an urban greening uplift
- Cultural and art installations embedded within the scheme
- Significant direct investment in London acting as a positive catalyst for future investment and development.



Artist sketch of our proposals

Next Steps

Thank you for taking the time to attend our public exhibition on Staycity's plans for Harmsworth House.

We want to hear from you

We would be grateful if you could take the time to complete a short survey either online via our consultation website or fill in a physical feedback form today.

Get in touch

If you have any questions or would like the information displayed in an alternative format, please get in touch with the project team using the details below.

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Project timeline:

February 2025

Public consultation on early plans

March 2025

Submission of planning application to City of London Corporation

Q3 2025

Determination of the application by City of London Corporation

Q1 2026

Work starts, with completion anticipated in 2027 / 28